



DEVELOPMENT REQUIREMENTS

- ENSURE ALL DESIGN AND CONSTRUCTION IS CARRIED OUT IN ACCORDANCE WITH BCA VALUME 2 - 2022
- ENSURE SITE PREPARATION IS CARRIED OUT IN ACCORDANCE WITH PART H1D3 OF THE BCA
- ENSURE ALL FOOTINGS, PEIRS, CONCRETE AND SLABS ARE CONSTRUCTED IN ACCORDANCE WITH AS 2870-2011, AS2159-2009 AND AS3600-2018
- ENSURE TERMITE PROTECTION IS INSTALLED IN ACCORDANCE WITH AS3660.1-2014
- ENSURE ALL MASONRY CONSTRUCTION IS CARRIED OUT IN ACCORDANCE WITH PART H1D5 AND AS3700-2018, AS4773.1-2015 AND AS4773.2-2015
- ENSURE ALL FRAMING IS COMPLETED IN ACCORDANCE WITH AS1684.2-2010, AS1720, AS4100-2020, AS/NZS4600-2018. ALL WIND LOADINGS TO AS 1170 PART 1-5 AND AS4055-2021
- ALL WINDOWS AND GLAZING MUST COMPLY WITH PART H1D8 OF THE BCA AND AS1288-2021 AND AS2047-2014
- ALL DRAINAGE AND STORMWATER MUST COMPLY WITH PART H2D2 AND AS 3500.3-2021
- ENSURE EXTERNAL WATERPROOFING IS INSTALLED TO MEET PART H2B8 OF THE BCA AND IN COMPLIANCE WITH AS4654.1&AS4654.2-2012
- ENSURE THE SUBFLOOR IS VENTILATED IN ACCORDANCE WITH PART H2D5 OF THE BCA AND PART 6.2 OF THE ABCB HOUSING PROVISIONS
- ALL ROOF AND WALL CLADDING IS TO BE INSTALLED IN ACCORDANCE WITH HSD6 OF THE BCA
- ENSURE ROOF SHEETING IS INSTALLED IN ACCORDANCE WITH AS1562.1-2018, AS1562.3-2006. ALL ROOF TILING TO COMPLY WITH AS2050. SARKING TO BE INSTALLED TO AS/NZS4200.1-2017. HARDBOARDS TO COMPLY WITH AS/NZS 1859.4-2018. EAVES AND FIBRE CEMENT TO BE INSTALLED TO COMPLY WITH AS/NZS2908.2. ALL FLASHING COMPLY WITH AS/NZS2904-1995
- ENSURE ANY FIRE SEPARATION IS CARRIED OUT IN ACCORDANCE WITH PART H3 OF THE BUILDING CODE AND SYSTEM TESTED TO AS1530.
- ALL SMOKE ALARMS AND EVACUATION LIGHTING TO COMPLY WITH PART H3D6, AS3786-2014 AND AS1670.1-2018
- ALL WET AREAS TO COMPLY WITH AS3740-2021 AND PART H4D2 OF THE BCA
- ENSURE CONDENSATION MANAGEMENT IS COMPLETED IN ACCORDANCE WITH PART 10.8 OF THE ABCB HOUSING PROVISIONS
- ENSURE MINIMUM ROOM HEIGHTS COMPLY WITH PART H4D4 OF THE BCA HABITABLE 2.4m - NONHABITABLE 2.1m
- ENSURE ADEQUATE VENTILATION IN ACCORDANCE WITH PART H4D7 OF THE BCA AND AS1668.2-2012
- ALL SOUND INSULATION TO COMPLY WITH PART 10.7 OF THE ABCB HOUSING PROVISIONS
- ALL STAIRS, RAMPS, BARRIERS, BALUSTRADES AND HANDRAILS SHALL COMPLY WITH PART 11.2 & 11.3 OF THE ABCB HOUSING PROVISIONS. STAIRWAYS AND RAMPS SHALL BE DESIGNED TO AS1170.1 WITH SLIP RESISTANCE TO AS4586-2013
- ALL ENERGY EFFICIENCY MEASURES ARE TO COMPLY WITH THE BASIX CERTIFICATE
- SWIMMING POOL INSTALLATION SHALL BE COMPLETED IN ACCORDANCE WITH THE SWIMMING POOLS ACT 1992 AND REGULATION 2018. ALL WATER RETICULATION SYSTEMS ARE TO COMPLY WITH AS1926.3-2010. POOL BARRIERS ARE TO BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS1926.1-2012 & AS 1926.2-2007.
- ALL CONSTRUCTION IN BUSHFIRE PRONE AREAS MUST BE CARRIED OUT IN ACCORDANCE WITH THE PLANNING FOR BUSHFIRE PRTECTION 2019 AND AS3959-2018 AND NASH STANDARD-STEEL FRAMED CONSTRUCTION IN BUSHFIRE AREAS.
- ALL HEATING APPLIANCES, FIREPLACES, CHIMNEYS AND FLUES ARE TO COMPLY WITH AS/NZS2918-2018 AND PART 12.4 OF THE ABCB HOUSING PROVISIONS

ARTISTS IMPRESSIONS  
NOT TO SCALE

CONSTRUCTION

REV	DATE	AMENDMENT	DT	CB
1	12/12/23	ISSUED FOR CLIENT REVIEW & SIGNOFF	AL	-
2	29/08/24	ISSUED FOR CLIENT REVIEW & SIGNOFF	CH	-
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**DEVELOPMENT NOTES**

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ALL WORKS DETAILED WITHIN THESE PLANS ARE TO BE CARRIED OUT BY A RELEVANT LICENSED TRADESPERSON.

ALL PRODUCTS & FIXTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS DETAILS & RELEVANT AUSTRALIAN STANDARDS.

PLANS ARE TO BE READ IN CONJUNCTION WITH PLANS AND DOCUMENTATION PROVIDED BY RELEVANT CONSULTANTS SUCH AS ENGINEERS, ENERGY ASSESSORS ETC.

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ANY ERRORS & OMISSIONS TO BE VERIFIED WITH THE DESIGNER PRIOR TO COMMENCEMENT ON SITE.

**MULTI DEVELOPMENT**

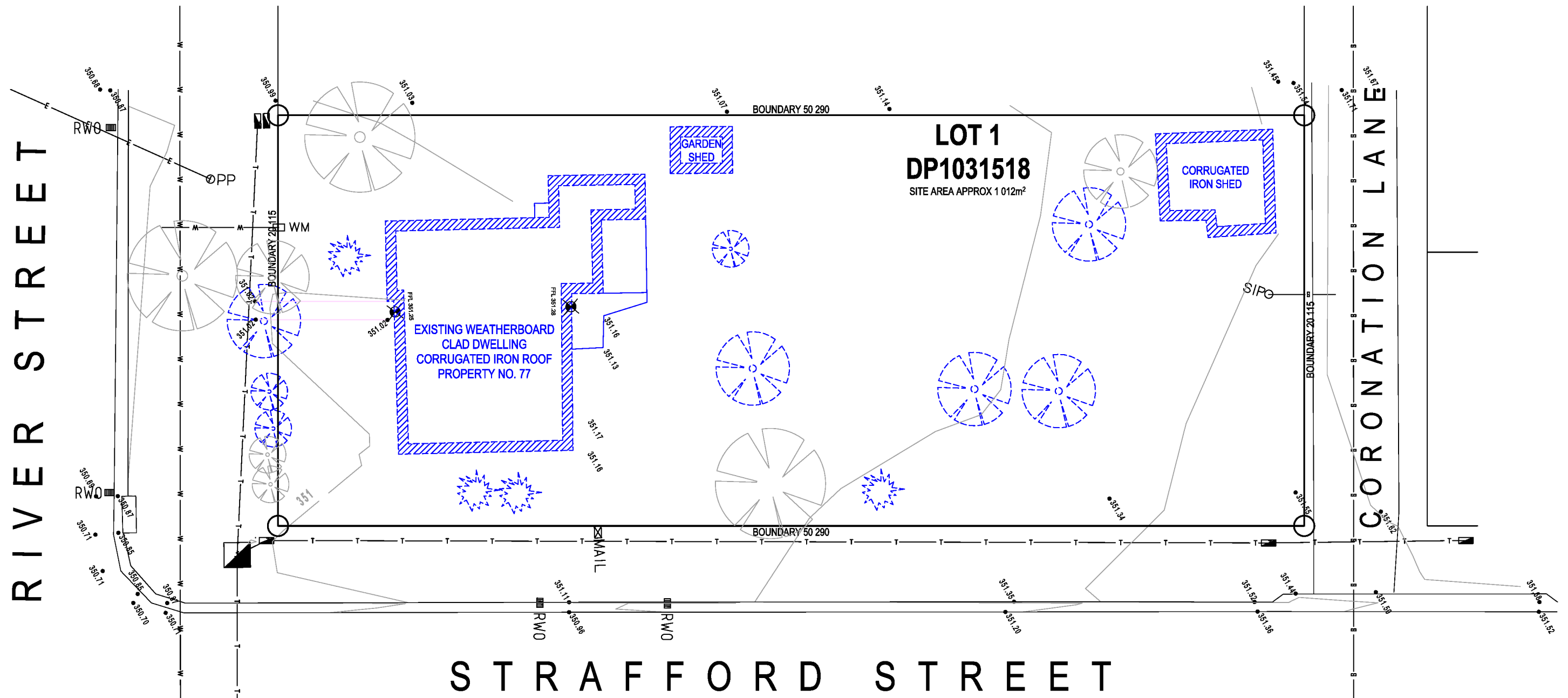
77 RIVER STREET  
MANILLA  
NSW 2346

**TRC NOTES**

ADDITIONAL UNDERFLOOR DRAINAGE PIPES TO ENABLE THE CONNECTION OF AN EXTERNAL GREYWATER REUSE DEVICE TO BE INSTALLED DURING CONSTRUCTION

Drawing Title: <b>COVER SHEET</b>	
Status: CONSTRUCTION	Scale: NOT TO SCALE
Project No: <b>23150</b>	Sheet No.: <b>WD1</b>
Plot Date:	14/10/2024

ITEMS MARKED BLUE AND DASHED ARE TO BE REMOVED / DEMOLISHED



## EXISTING SITE PLAN

SCALE 1:200@A3

# CONSTRUCTION

[illegible]

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COMMENCEMENT ON SITE.



## MULTI DEVELOPMENT

**77 RIVER STREET  
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CONSTRUCTION

Drawing Title:  
**EXISTING SITE PLAN**

Status:	CONSTRUCTION
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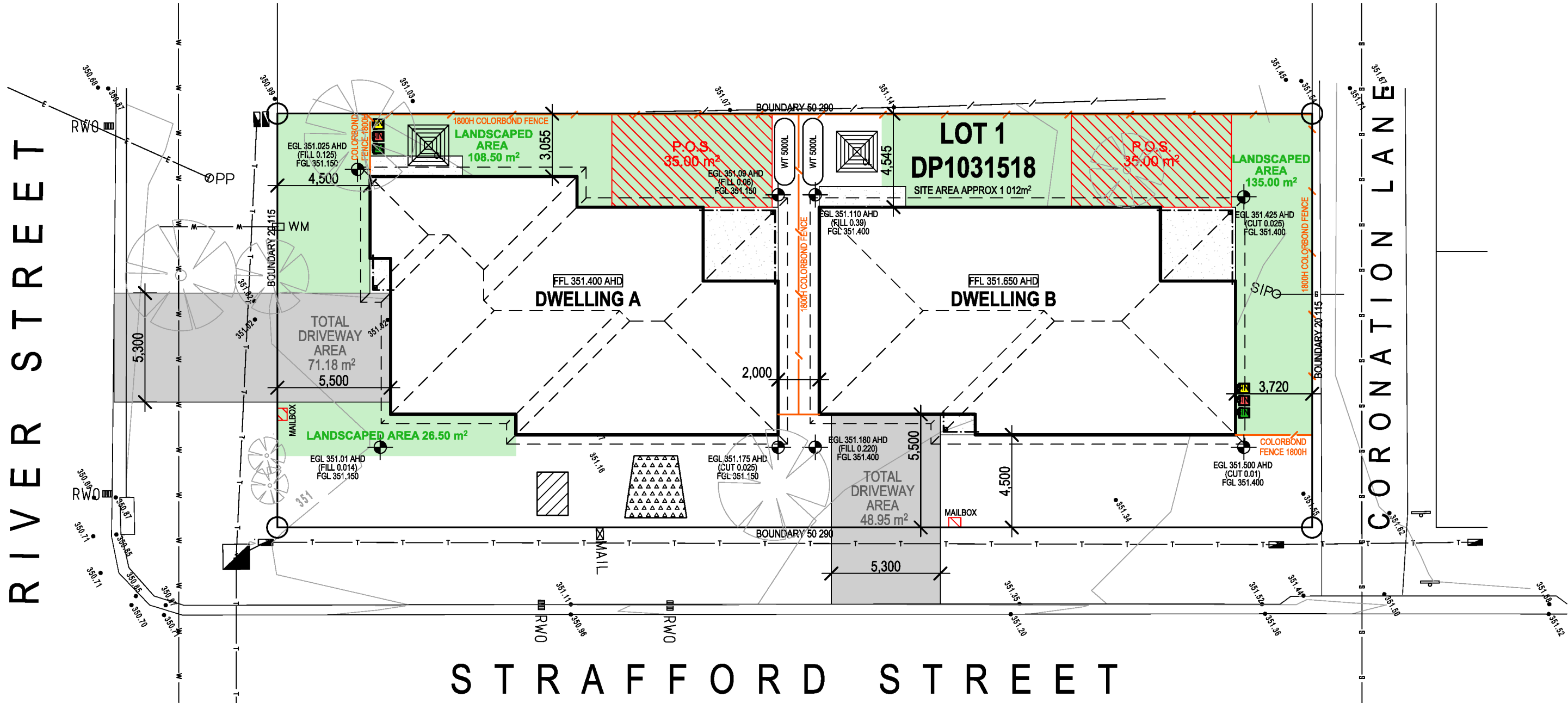
Project No:  
**23150**

Scale: 1:200 @ A3

Sheet No.:  
**WD3**

Plot Date:	14/10/2024
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**SITE PLAN**  
SCALE 1:200@A3



**ELEVATION 1**  
SCALE 1:200@A3

CONSTRUCTION

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LEGEND

- WT 5000L
- TP 200x200 TIMBER POST
- DP DOWNPIPE
- RC REINFORCED CONCRETE
- WM WATER METER
- CL CLOTHES LINE
- HWU HOT WATER UNIT
- MSB MAIN SWITCH BOARD



FINISHED FLOOR LEVEL  
FINISHED SLAB LEVEL  
EXISTING GROUND LEVEL  
FINISHED GROUND LEVEL  
SITE WASTE BIN  
STABILIZED ENTRY POINT

SITE LAND ZONING R1

SITE AREAS & COVERAGE

ROOF AREA	498.6m²
DRIVEWAY AREA ON SITE	58.3m²
PATH AREA	4.8m²
TOTAL HARDSTAND AREA	556.0m²
SITE COVERAGE %	55%



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Drawing Title:  
**SITE PLAN**

Status: CONSTRUCTION

Scale: 1:200 @ A3

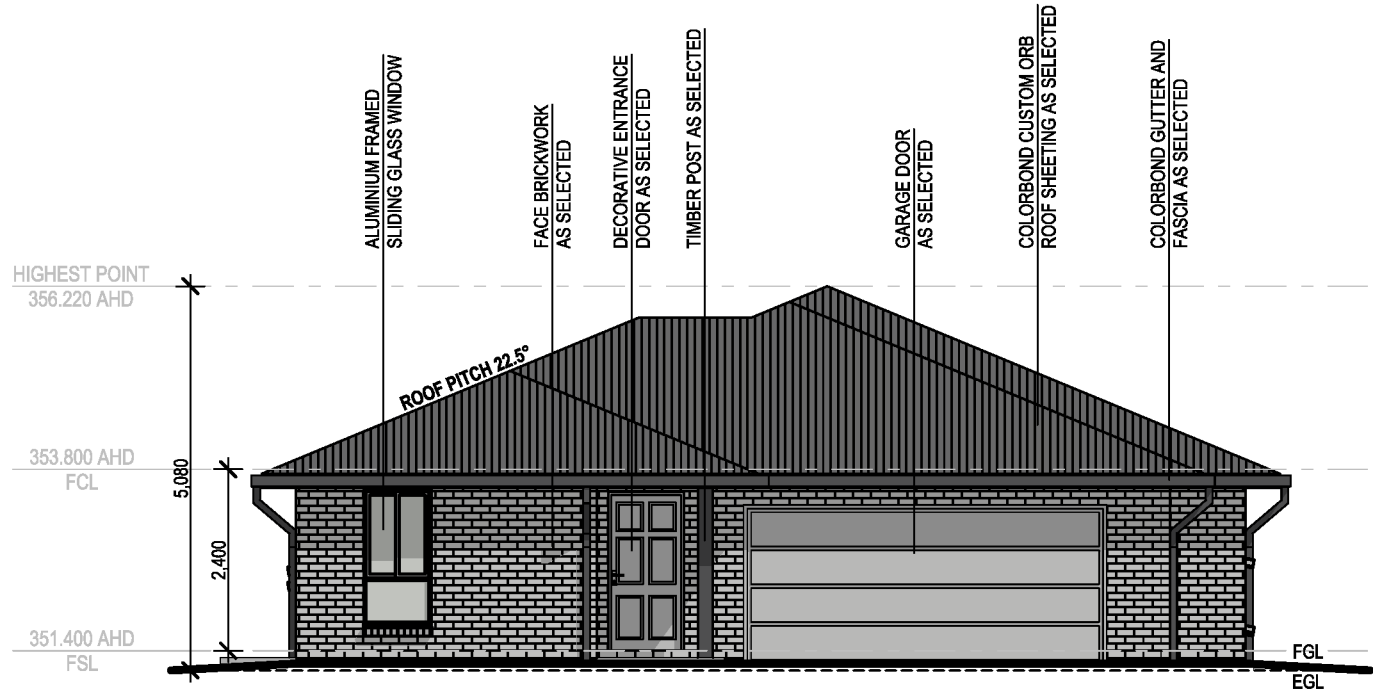
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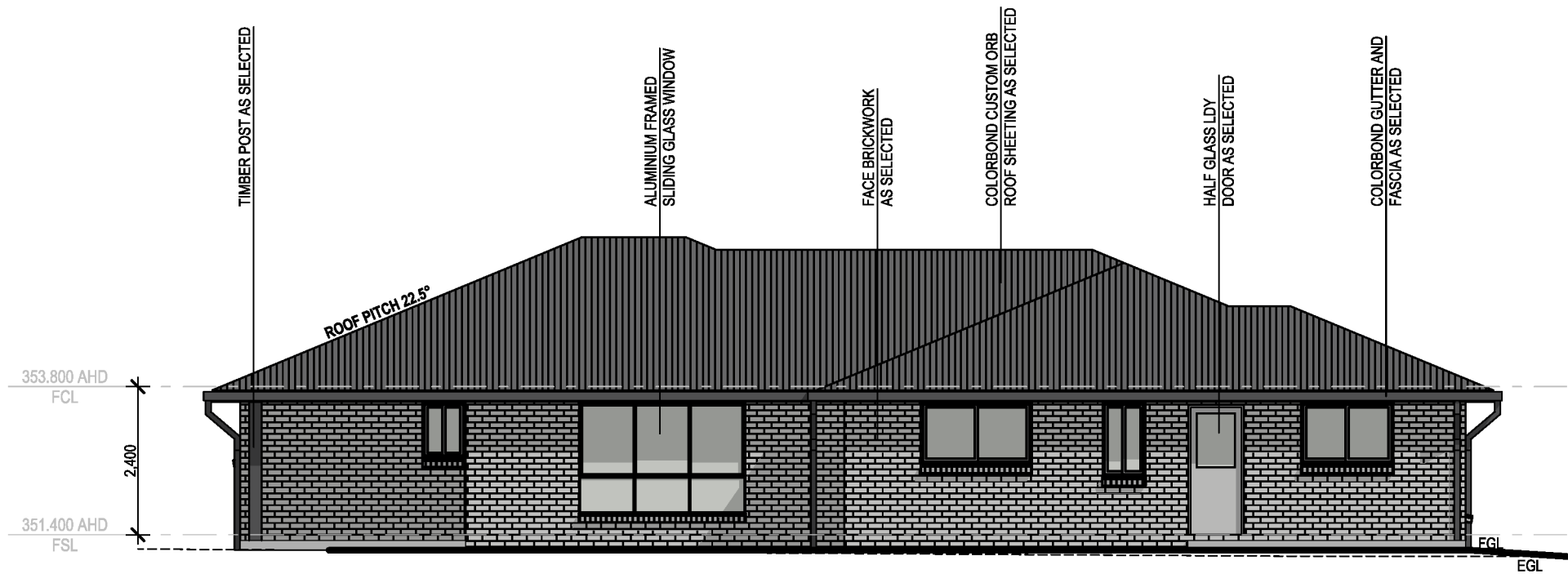
Sheet No.:

**WD4**

Plot Date: 14/10/2024



**SOUTH WESTERN ELEVATION - DWELLING A**  
SCALE 1:100@A3



**NORTH WESTERN ELEVATION - DWELLING A**  
SCALE 1:100@A3

CONSTRUCTION

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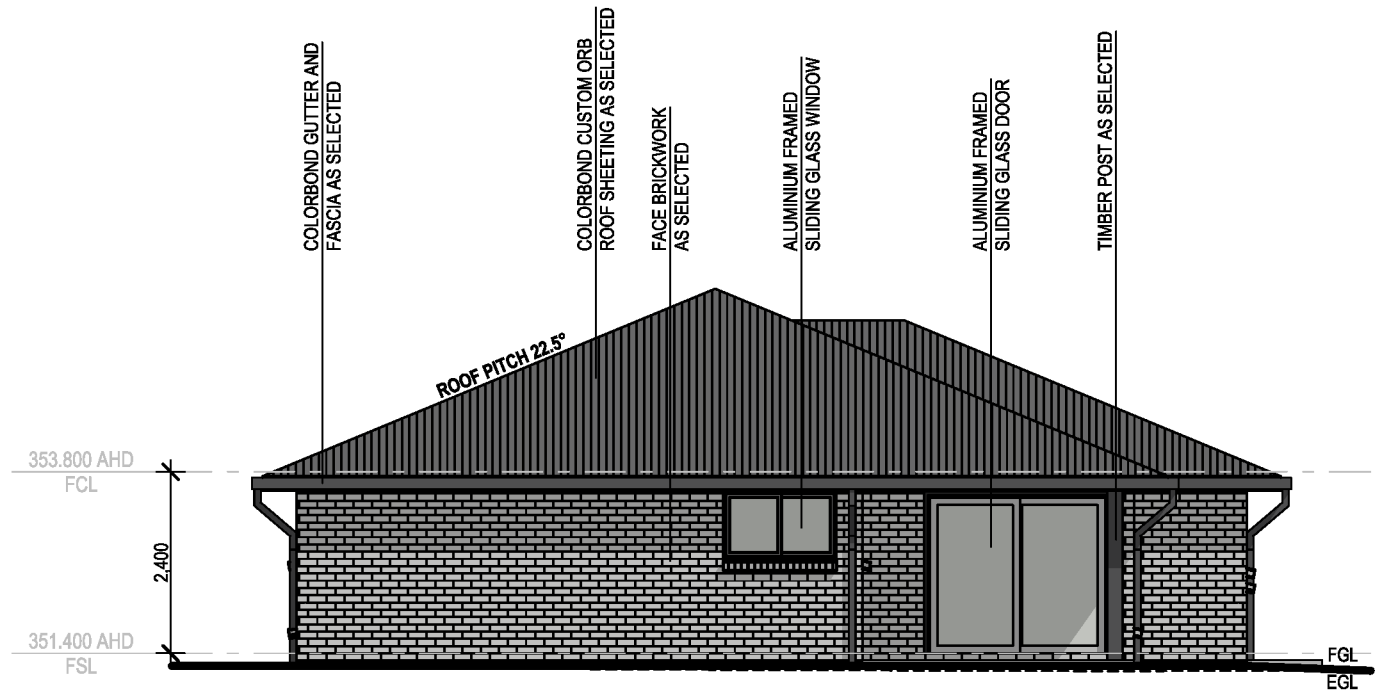
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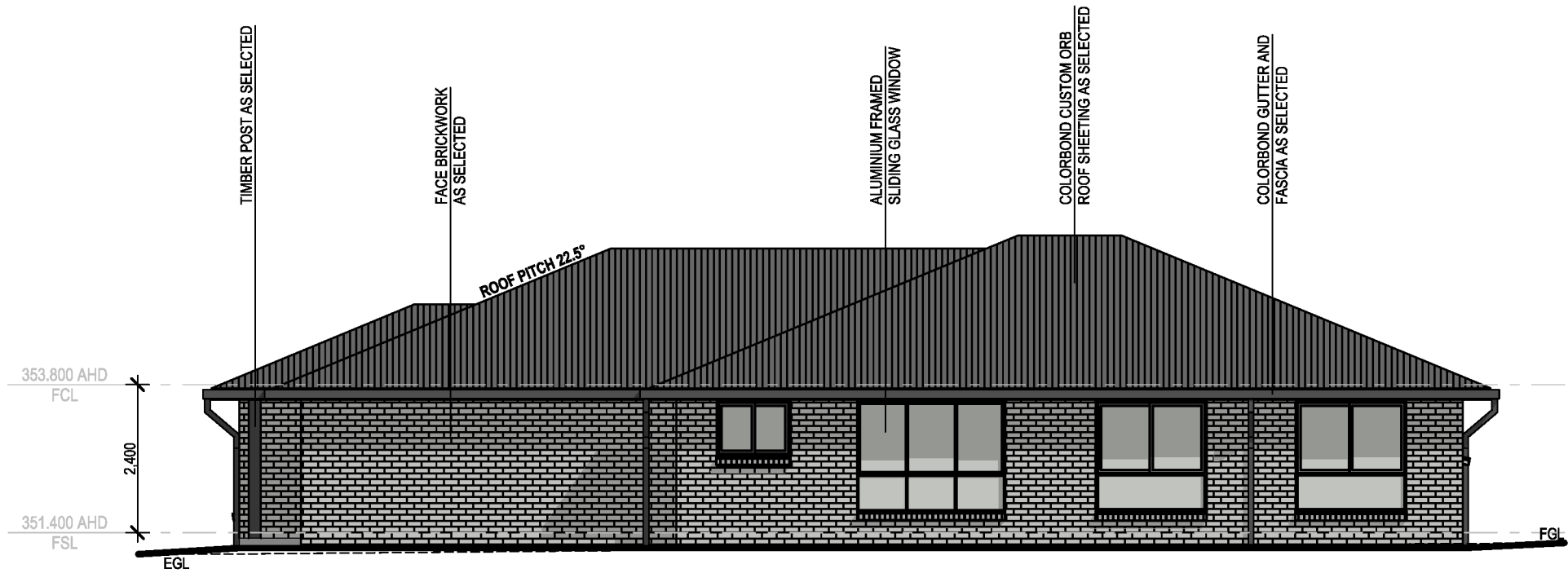


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Drawing Title:	DWELLING A ELEVATIONS
Status:	CONSTRUCTION
Scale:	1:100 @ A3
Project No:	23150
Sheet No.:	WD8
Plot Date:	14/10/2024



**NORTH EASTERN ELEVATION - DWELLING A**  
SCALE 1:100@A3



**SOUTH EASTERN ELEVATION - DWELLING A**  
SCALE 1:100@A3

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Drawing Title:  
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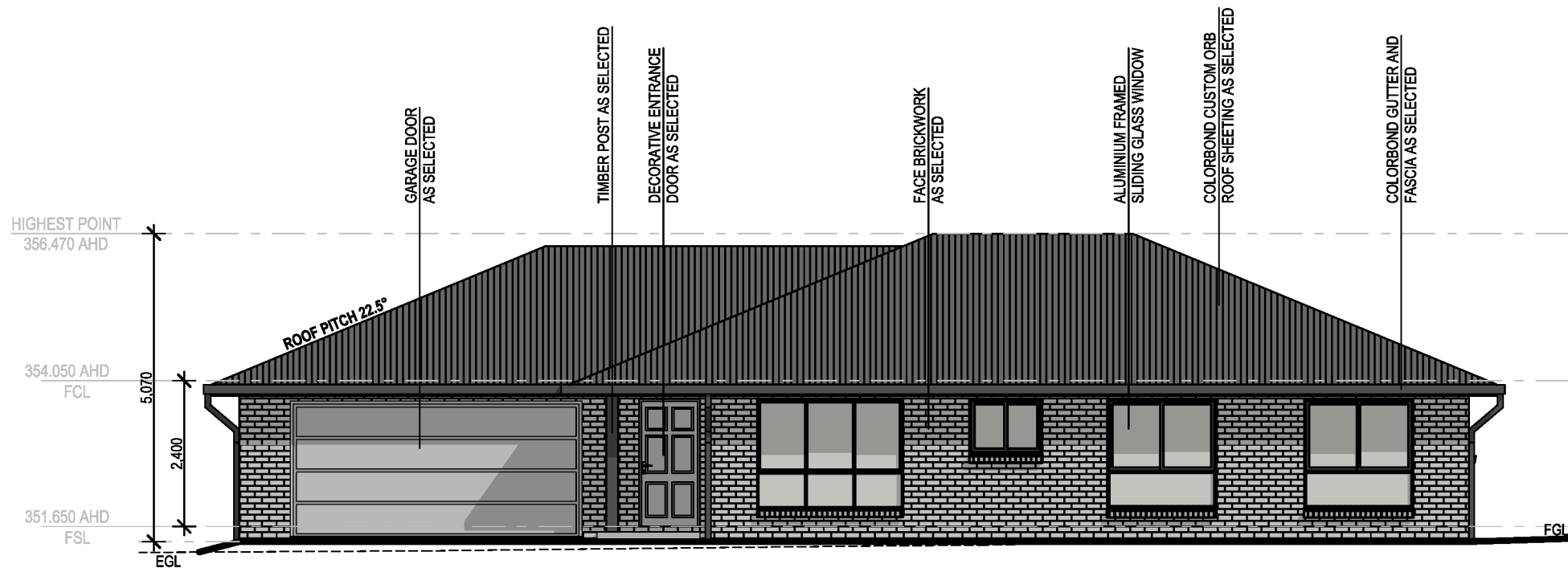
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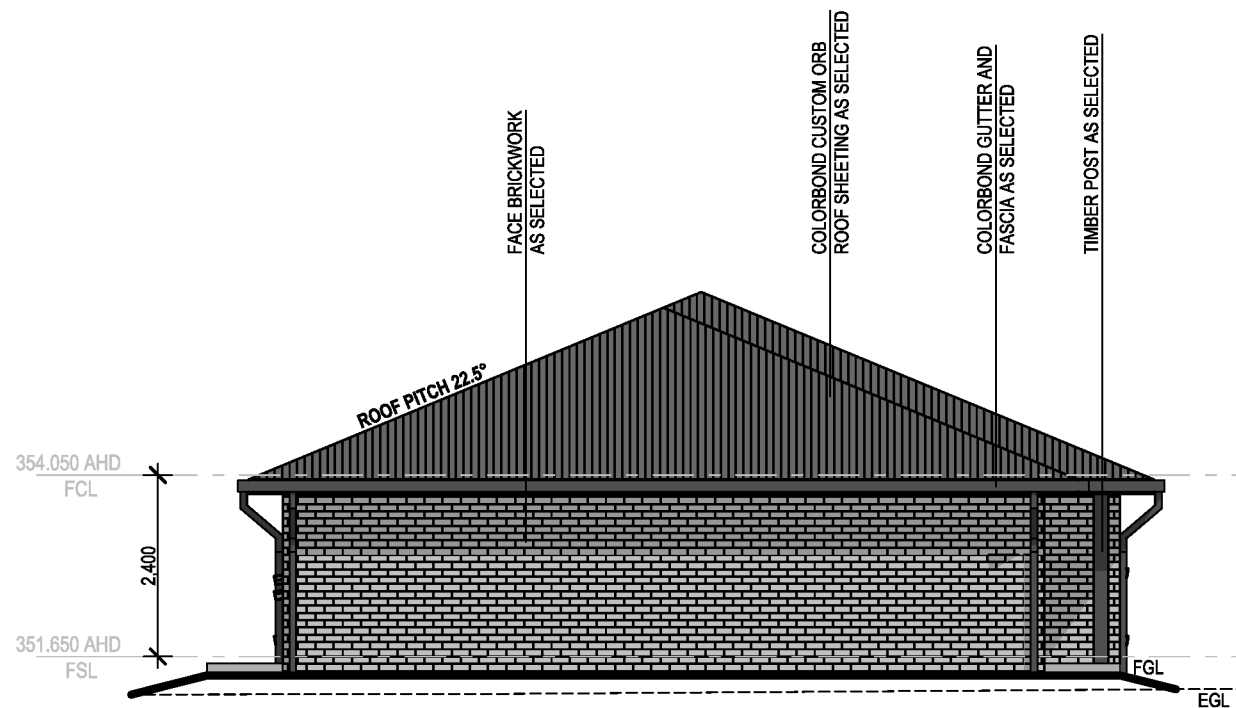
Project No:  
**23150**

Sheet No.:  
**WD9**

Plot Date: 14/10/2024



**SOUTH EASTERN ELEVATION - DWELLING B**  
SCALE 1:100@A3



**SOUTH WESTERN ELEVATION - DWELLING B**  
SCALE 1:100@A3

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**DWELLING B ELEVATIONS**

Status: CONSTRUCTION

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Project No:

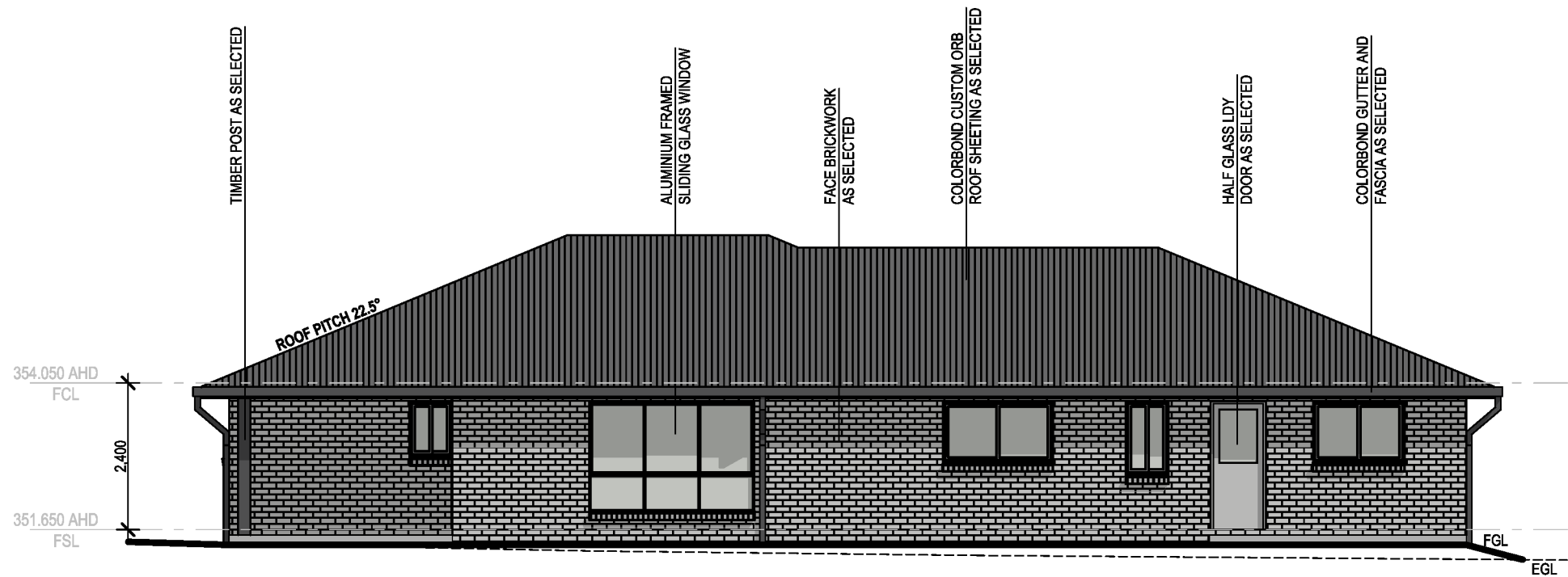
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Sheet No.:

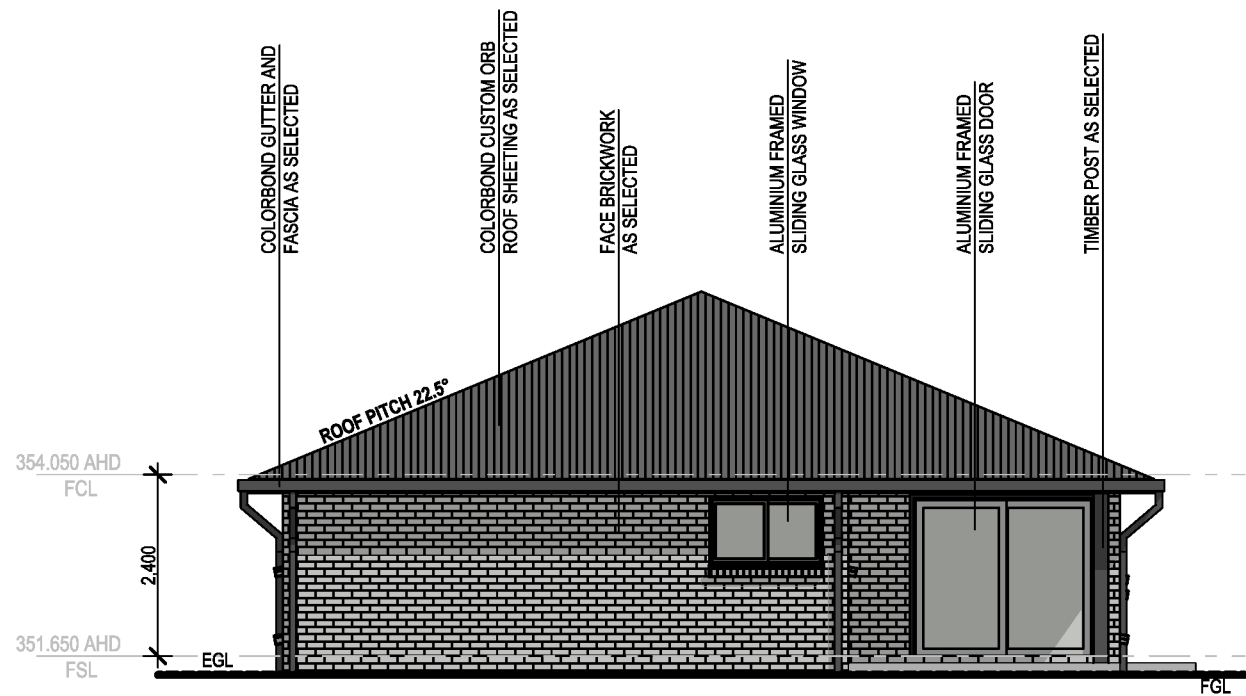
**WD13**

Plot Date:

14/10/2024



**NORTH WESTERN ELEVATION - DWELLING B**  
SCALE 1:100@A3



**NORTH EASTERN ELEVATION - DWELLING B**  
SCALE 1:100@A3

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Status:	CONSTRUCTION
Project No:	23150
Plot Date:	14/10/2024
Scale:	1:100 @ A3
Sheet No.:	WD14

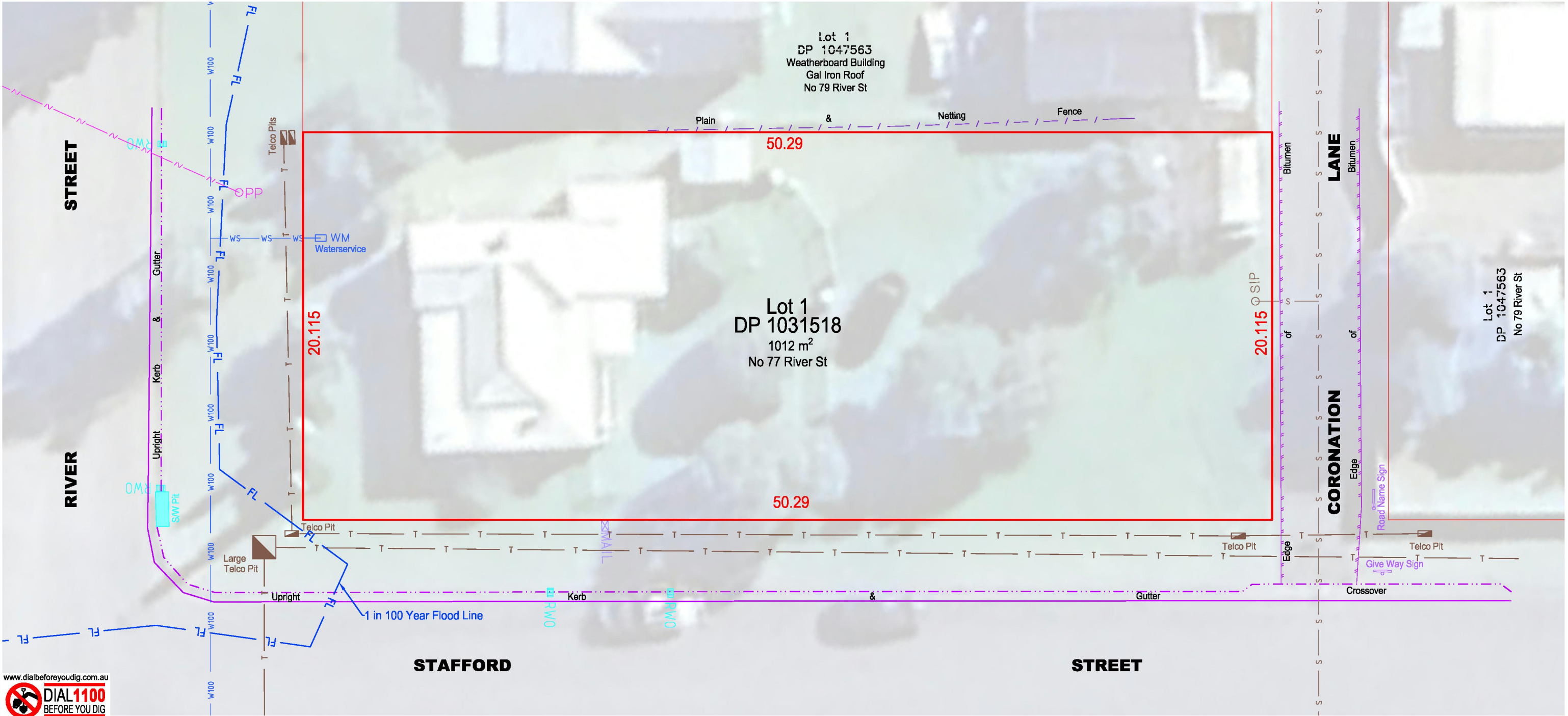


IMPORTANT NOTES & CAUTIONS:-

1. These plans (Marked 23425DA Rev A) have been produced for information purposes. ONLY and under NO circumstance SHALL they be used for Construction
2. These plans have been prepared for an A3 plot at the reduction ratio shown. The accuracy of any enlargement or other reproduction may be less than that of the original
3. Any and all proposed levels shown on this drawing are indicative ONLY. Preliminary calculations have not checked for potential conflicts with other services
4. Actual grades, levels, locations etc may vary during final design stages.
5. This plan has been produced as part of the client's development application proposal and as a result the actual location of buildings, roads etc may vary
6. The boundaries shown and adopted for the Servicing Strategy have not been confirmed by field survey
7. Lot sizes, easements and all dimensions shown on this plan are indicative only and are subject to Development Application (DA) approval & Civil Design
8. This plan is copyright and is not to be copied or reproduced in whole or in part without the prior written approval of Bath, Stewart Associates Pty Ltd. Upon payment of all fees invoiced to complete this survey, the client, shall have a licence to use this drawing, (for which it was originally prepared), without the requirement to obtain the afore
9. These notes are an integral part of this plan.

FLOOD LEVEL REFERENCE:

1 in 100 year Flood Line has been interpolated from "Tamworth Regional Council - Report for Manilla Flood Study April 2012 Final".  
This being: page 153 Figure F.5.1  
Flood Map 1% AEP Flood Event



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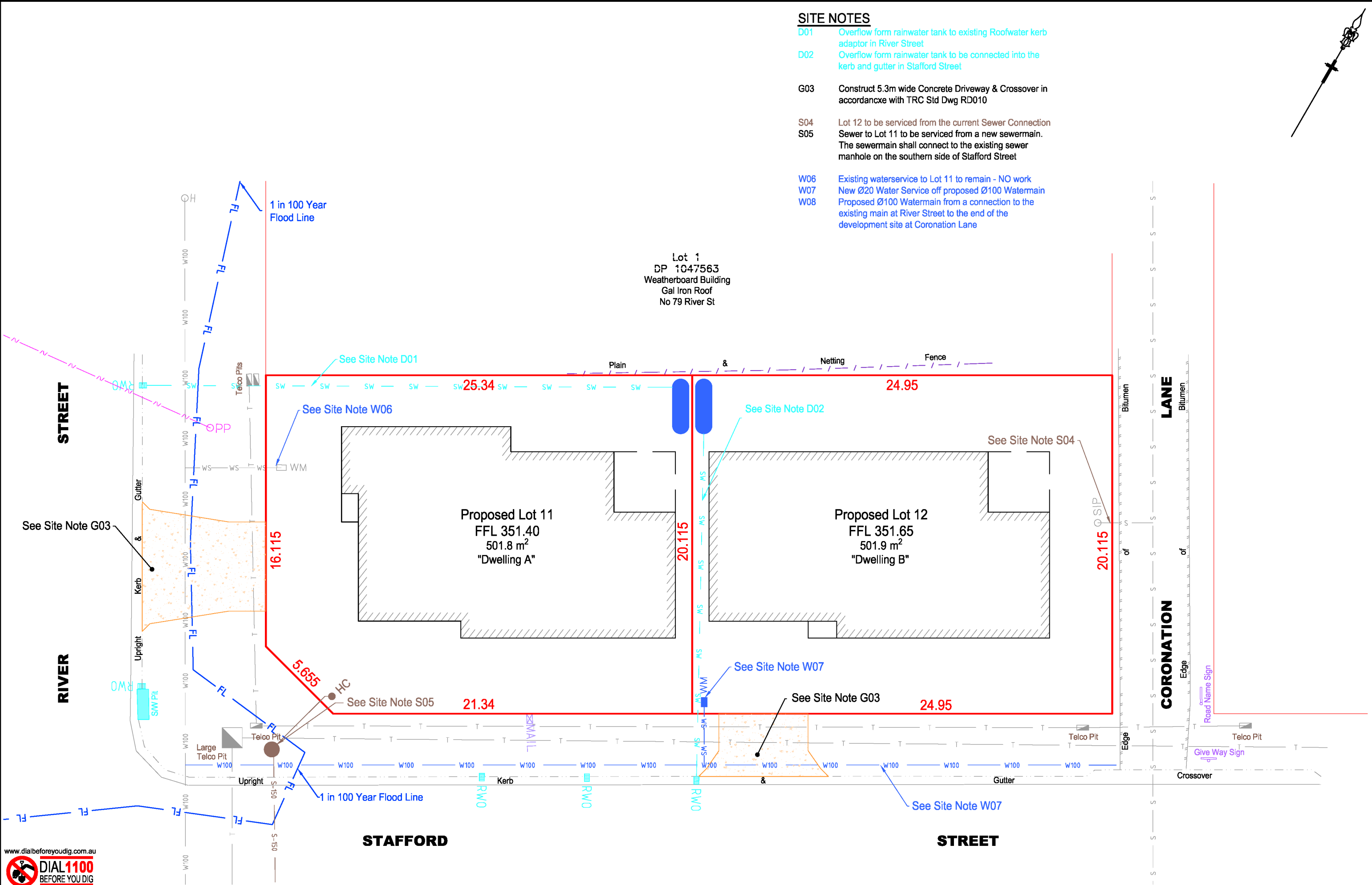


LEGEND (EXISTING - LIGHT PROPOSED - DARKER)	Rev.	DESCRIPTION	APPROVED	DATE	Model:	Original A3 Drawing Scale Bar:	BATH STEWART ASSOCIATES Pty Ltd	77 RIVER STREET MANILLA	Ref. No:
CENTRE LINE KERB AND GUTTER TOP OF BATTER SURFACE DRAINAGE EDGE OF BITUMEN SEAL FENCELINE SEWERMAIN WATERMAIN (& SIZE) STORMWATER DRAINAGE OVERHEAD POWER UNDERGROUND ELECTRICAL		TREE SHRUB SIGN SEWER MANHOLE, INSPECTION PIT DOWNPIPE & ROOFWATER OUTLET POWER POLE STREETLIGHT GUIDE POST WATER (HYDRANT, VALVE, METER) TELSTRA PIT AND CABLES			23425V01 15114V02 Various M. Murray Not Applicable J. Herdegen	A3 Scale 1:200 2.0 0.0 2.0 4.0 Drawing: 23425DA Rev A Datum Description: Not Applicable	<b>DEVELOPMENT CONSULTANTS</b> SURVEYORS - ENGINEERS - PLANNERS - PROJECT MANAGERS 239 Maria Street TAMWORTH NSW 2340 Telephone (02) 6766 5966 A.C.N. 659 162 062 office@bathstewart.com.au	LOT 1 DP 1031518 EXISTING LOT CONFIGURATION	23425DA Sheet No: 01 of 02 Revision: A ©Bath Stewart & Associates Pty Ltd
Issued as part of the Development Application paperwork					J. Herdegen	24.02.25			























SITE NOTES

- D01 Overflow form rainwater tank to existing Roofwater kerb adaptor in River Street
- D02 Overflow form rainwater tank to be connected into the kerb and gutter in Stafford Street
- G03 Construct 5.3m wide Concrete Driveway & Crossover in accordance with TRC Std Dwg RD010
- S04 Lot 12 to be serviced from the current Sewer Connection
- S05 Sewer to Lot 11 to be serviced from a new sewermain. The sewermain shall connect to the existing sewer manhole on the southern side of Stafford Street
- W06 Existing waterservice to Lot 11 to remain - NO work
- W07 New Ø20 Water Service off proposed Ø100 Watermain
- W08 Proposed Ø100 Watermain from a connection to the existing main at River Street to the end of the development site at Coronation Lane



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LEGEND (EXISTING - LIGHT PROPOSED - DARKER)		Rev.	DESCRIPTION	APPROVED	DATE	Model: 23425V01	Original A3 Drawing Scale Bar:	<b>BATH STEWART ASSOCIATES Pty Ltd</b> <b>DEVELOPMENT CONSULTANTS</b> <b>SURVEYORS - ENGINEERS - PLANNERS - PROJECT MANAGERS</b> 239 Marius Street TAMWORTH NSW 2340 Telephone (02) 6766 5966 A.C.N. 659 162 062   office@bathstewart.com.au	This document / plan / drawing / sketch is the copyright property of Bath Stewart Associates Pty Ltd and shall not be copied or reproduced in part or whole, in any media without written approval, nor shall it be used except for the Development and Site Specified
CENTRE LINE						DL: 15114V02	AS Scale 1:200		
KERB AND GUTTER						Survey: Various	Drawing: 23425DA Rev A		
TOP OF BATTER						Drawn: M.Murray	Detum Description:		
SURFACE DRAINAGE						Designed: Not Applicable	Not Applicable		
EDGE OF BITUMEN SEAL									
FENCELINE									
SEWERMAIN									
WATERMAIN (& SIZE)									
STORMWATER DRAINAGE									
OVERHEAD POWER									
UNDERGROUND ELECTRICAL									
TREE, SHRUB, SIGN									
SEWER MANHOLE, INSPECTION PIT									
DOWNSPIRE & ROOFWATER OUTLET									
POWER POLE									
STREETLIGHT									
GUIDE POST									
WATER (HYDRANT, VALVE, METER)									
TELSTRA PIT AND CABLES									
A			Issued as part of the Development Application paperwork	J.Herdegen	24.02.25	Checked: J.Herdegen			

Ref. No:	23425DA
Sheet No:	02 of 02
Revision:	A
EXISTING LOT CONFIGURATION	